



RHYS+
BENEDICT
ARCHITECTS

APPENDIX 1

08/00545/FUL

NHI/6423/3

Planning, Access and Design Statement

Retrospective application for regularisation of elements
of extensions and alterations to 40 Westminster Way,
Botley, Oxford, OX2 0LW

Job: 704

2nd April 2008

Contents:

Page no:

1. Introduction

2

2. The Proposal and Local Planning Considerations

3

3. Conclusions

5

APPENDIX 1

1.0 INTRODUCTION:

- 1.1 The property, 40 Westminster Way, is a substantial extended semi-detached property. The road elevation is in facing brick with painted ashlar detailing to the door and window over as well as to the prominent curved bay window. The bay is capped with a gable roof whilst generally the main roof and extension have hipped forms with lean-to roof over the single storey extensions.
- 1.2 The building had been extended in the recent past generally in accordance with the planning approval, application ref: 06/00967/FUL, granted on 6th September 2006.
- 1.3 The drawings submitted for the purposes of the application describe all the changes and the convention adopted has been that the "existing" drawings represent the proposal which received planning permission; and the "proposed" drawings represent the as-built condition for which approval is being sought.

APPENDIX 1

2.0 THE PROPOSAL:

- 2.1 The scheme was constructed largely in accordance with the approved plans with the following exceptions:
- Proposed Garage has been converted into a Playroom i.e. habitable accommodation in contravention of Condition 4 of the original grant of planning permission.
 - There is currently no roof window in the single storey lean-to roof over the Kitchen.
 - There is some variation in the number and location of the Velux roof windows.
 - There are additional Solar Panels on two of the roof planes.
 - The existing front door has been replaced
 - There are minor changes to the fenestration pattern of the windows to the rear.
- 2.2 With the exception of the conversion of the garage the changes are cosmetic and minor and have been clearly described on the drawings. It is not proposed to comment further on these.
- 2.3 The original proposal included the demolition of the existing sub-standard garage and to replace it with a properly constructed garage set under a lean-to pitched roof. During construction it became apparent that the wall between the twin garages which were set in the space between nos. 40 and 42 Westminster Way though in poor condition should remain in place and this was included in the Party Wall Award set up between the two properties. Once this was agreed the already very narrow garage, which did not meet modern standards, became even more narrow and in fact impossible to use. At that point the applicant took the decision to extend the insulated cavity wall on the boundary between 40 and 42 forward to form the side wall of the enclosed space. He insulated the floor and mono-pitch roof, and to bring this narrow space inside the habitable envelope.
- 2.4 Provision has been made on the front of the house for on-site parking. The original proposal envisaged parking for up to three cars with one in the garage and a further two on the forecourt. The reality is that the garage would never be used due to the lack of sufficient width and so all parking would have inevitably been consigned to the forecourt area. In the event the front garden has been hard landscaped now and the extent of the paved area is more than sufficient to permit three cars to park and to exit to Westminster Way using the existing dropped kerb. It is asserted therefore that the conversion of the garage to a habitable room has had no impact on the way in which the household uses the front garden to park up to three vehicles and that this level of on-site parking is perfectly adequate for a house of this size.
- 2.5 Generally the detailing and materials of the as-built extension reflects the existing range of materials used in the present house.

- 2.6 No part of the as-built extension extends beyond the boundary lines to the property.
- 2.7 Note 2 on all of the drawings submitted may be deleted and will not form part of this application.

APPENDIX 1

3.0 CONCLUSION:

- 3.1 The as-built scheme has been developed with due consideration of the level of amenity enjoyed by the surrounding properties and they are minor and cosmetic in nature.
- 3.2 The changes in the parking arrangement from the scheme approved are pragmatic and have no impact on the more than adequate parking arrangements nor entry and egress to the site from the public highway.
- 3.3 We consider the changes therefore to either be either of a minor nature or of a pragmatic one and we hope that the Planning Authority can support this view and grant approval for the as-built scheme.

Ifor Rhys riba

Notes

- No deviation may be made from the details shown on this drawing without prior permission of the architects. Any discrepancy found between this drawing and any other document should be referred immediately to the architects.
- IF IN DOUBT ASK.
- No dimensions should be scaled from this drawing. Dimensions should be removed from currency immediately a revised version is issued.
- The contractor must check the existing construction on the site prior to commencement of the works.
- All rights described in chapter 1V of the Copyright, Designs and Patents Act of 1988 have been generally asserted.

Rev	Date	Description

Rhys + Benedict Ltd
 architects
 environmental designers
 landscape & interior designers
 lower barn, 4 blenheim road,
 hoispath, oxford ox33 1ry
 t 01865 874112
 e info@r-ba.net

client:	Mr Mohammed Ali
job:	40 Westminster Way
title:	Block and Location Plan
scale:	As indicated
date:	March 2008
no:	704 RP 300

1 Location Plan
1 : 1250

2 Block Plan
1 : 500

This drawing is protected by the Copyright, Designs and Patents Act 1988 (Section 47). You may only download and/or print a copy for application purposes, to compare a current application with previous schemes, and to check whether a development is being carried out or has been completed in accordance with the approved drawings. If you require a copy of the drawings or other material for any other purpose you will need to obtain the prior permission of the copyright owner.

08/00545/FUL
NH1/6423/3

http://www.pdf4free.com

PDF Creator - PDF4Free v2.0

Notes

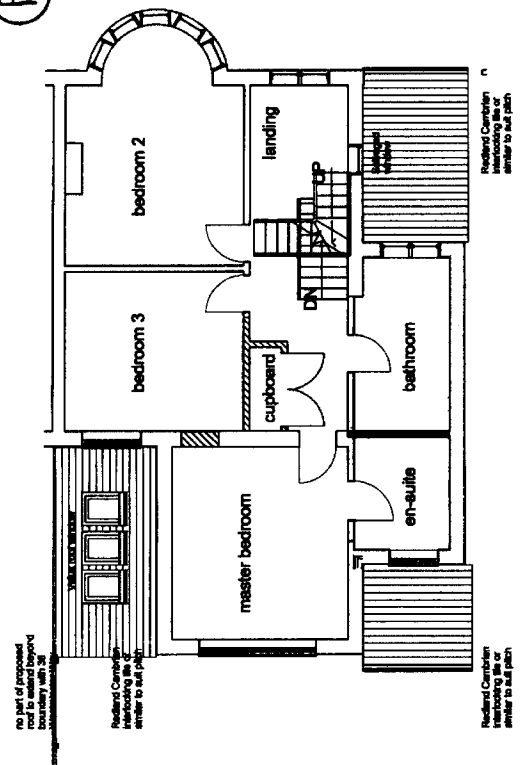
- No deviation may be made from the details shown on this drawing without prior permission of the architects. Any discrepancy found between this drawing and any other document should be referred immediately to the architects.
- IF IN DOUBT ASK.
- No dimensions should be scaled from this drawing.
- This drawing is to be removed from currency immediately a revised version is issued.
- The contractor must check the existing construction on the site prior to commencement of the works.
- All rights described in chapter 1V of the Copyright, Designs and Patents Act of 1988 have been generally asserted.

Rev	Date	Description

Rhys + Benedict Ltd
 architects
 environmental designers
 landscape & interior designers
 lower barn, 4 blenheim road,
 horspath, oxford ox33 1ry
 t 01865 874112
 e info@r-ba.net

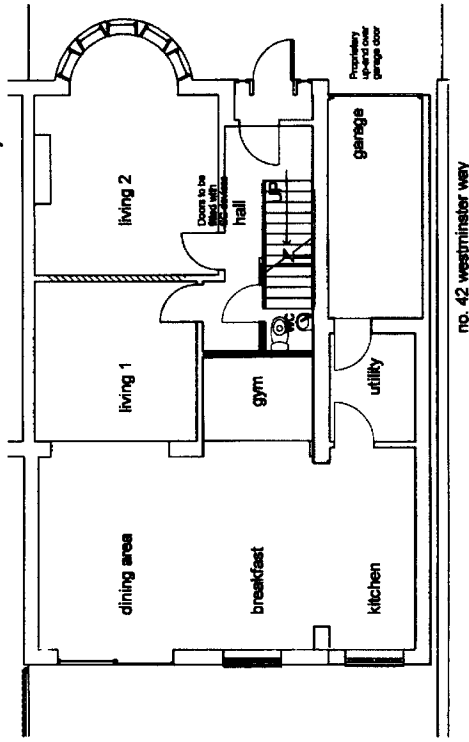
client:	Mr Mohammed Ali
job:	40 Westminster Way
title:	Floor and Roof Plans - as existing
scale:	1 : 100
date:	March 2008
no:	704
	RP 301

RB



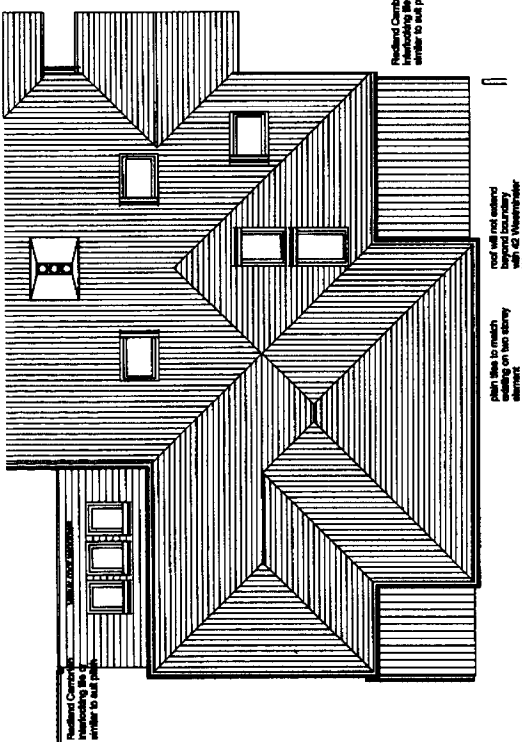
002 First Floor - as existing
 1 : 100

08|00545 Ful NH1 6423/3
 no. 38 westminster way



001 Ground floor - as existing
 1 : 100

no. 42 westminster way



003 Roof - as existing
 1 : 100

This drawing is protected by the Copyright, Designs and Patents Act 1988 (Section 47). You may only copy or reproduce a copy for consultation purposes to examine a current application with the relevant authority to check the drawings. It is prohibited to be carried out or used for any other purpose without the prior permission of the copyright owner.

- 1:20 = 1.2m
- 1:50 = 9m
- 1:100 = 6m
- 1:200 = 12m
- 1:500 = 30m
- 1:1250 = 75m
- 1:2500 = 150m



EXTENSION

04 East - as existing

05 North - as existing

06 West - as existing

07 South - as existing

08/00545 / Ful NHI/6423/3

Notes

- No deviation may be made from the details shown on this drawing without prior permission of the architects. Any discrepancy found between this drawing and any other document should be referred immediately to the architects.
- No dimensions should be scaled from this drawing.
- This drawing is to be removed from currency immediately a revised version is issued. The contractor must check the existing construction on the site prior to commencement of the works.
- All rights described in chapter 1V of the Copyright, Designs and Patents Act of 1988 have been generally asserted.

Rev	Date	Description

Rhys + Benedict Ltd
 architects
 environmental designers
 landscape & interior designers
 lower barn, 4 blenheim road,
 horspath, oxford ox33 1ry
 t 01865 874112
 e info@r-ba.net

client:	Mr Mohammed Ali
job:	40 Westminster Way
title:	Elevations - existing
scale:	1:100
date:	March 2008
no:	704 RP 302

04/04/2008 16:21:23

Notes

- No deviation may be made from the details shown on this drawing without prior permission of the architects. Any discrepancy found between this drawing and any other document should be referred immediately to the architects.
- IF IN DOUBT ASK.**
- No dimensions should be scaled from this drawing.
 - This drawing is to be removed from currency immediately a revised version is issued.
 - The contractor must check the existing construction on the site prior to commencement of the works.
 - All rights described in chapter 1V of the Copyright, Designs and Patents Act of 1988 have been generally asserted.

Rev	Date	Description

Rhys + Benedict Ltd
 architects
 environmental designers
 landscape & interior designers

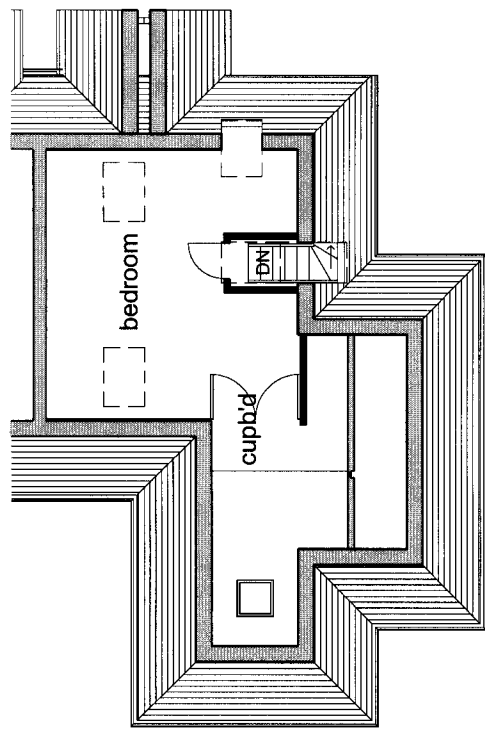
lower barn, 4 blenheim road,
 horspath, oxford ox33 1ry

t **01865 874112**
 e **info@r-ba.net**

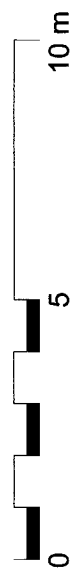
client:	Mr Mohammed Ali
job:	40 Westminster Way
title:	Second Floor - as existing/proposed
scale:	1 : 100
date:	March 2008
no:	704 RP 306

APPENDIX 1

08/00545/ F21L
NH1/ 0423/3



1 018 Second floor - existing
 1 : 100



COPY



06/00967/FUL
;DCPBFULZ1/7/03

TOWN AND COUNTRY PLANNING ACT 1990

NOTICE OF PERMISSION

To:

Mr Mohammed Ali
c/o Ifor Rhys Chartered Architect
4 Blenheim Road
Horspath
Oxford
OX33 1RY

Appendix 2

Application No: **NHI/6423/2**

Proposal:

Demolition of existing single storey garage. Erection of a two storey side extension

Address:

40 Westminster Way North Hinksey Oxford Oxon OX2 0LW

DATE OF DECISION: **4th September 2006**

The Vale of White Horse District Council, in pursuance of powers under the Above Act, hereby **PERMIT** the above development to be carried out in accordance with the application and accompanying plans submitted by you, subject to compliance with the **conditions** specified hereunder.

- 1 The development to which this permission relates shall begin within a period of three years from the date of this permission.
- 2 The materials to be used externally in the development shall match those of the existing dwelling, in terms of their colour, finish and appearance.
- 3 Notwithstanding the provision of the Town and Country Planning General Permitted Development Order 1995 (or any order revoking and re-enacting that order) no additional windows shall be inserted in the north and south elevations of the development hereby approved without the prior grant of planning permission.
- 4 Notwithstanding the provisions of the Town and Country Planning (General Permitted Development Order 1995) (or any order revoking and re-enacting revoking that Order) the garage accommodation forming part of the development hereby permitted

25/9/03



Vale of White Horse District Council, Abbey House, Abingdon, OX14 3JE
Telephone (01235) 520202 Fax (01235) 540396



Appendix 2

shall be retained as such and shall not be adapted for living purposes or any other purpose whatsoever without the prior grant of planning permission.

The REASONS for the Council's decision to grant permission for the development subject to compliance with the conditions hereinbefore specified are:

- 1 To comply with the requirements of Section 91 of the Town & Country Planning Act, 1990 (as amended).
- 2 In the interest of visual amenity. (Policies H24 and DC1 of the adopted Local Plan).
- 3 In the interests of the privacy and amenity of neighbouring properties. (Policy DC9 of the adopted Local Plan).
- 4 To retain existing parking provision in the interest of highway safety. (Policy DC5 of the adopted Local Plan).

INFORMATIVE(S)

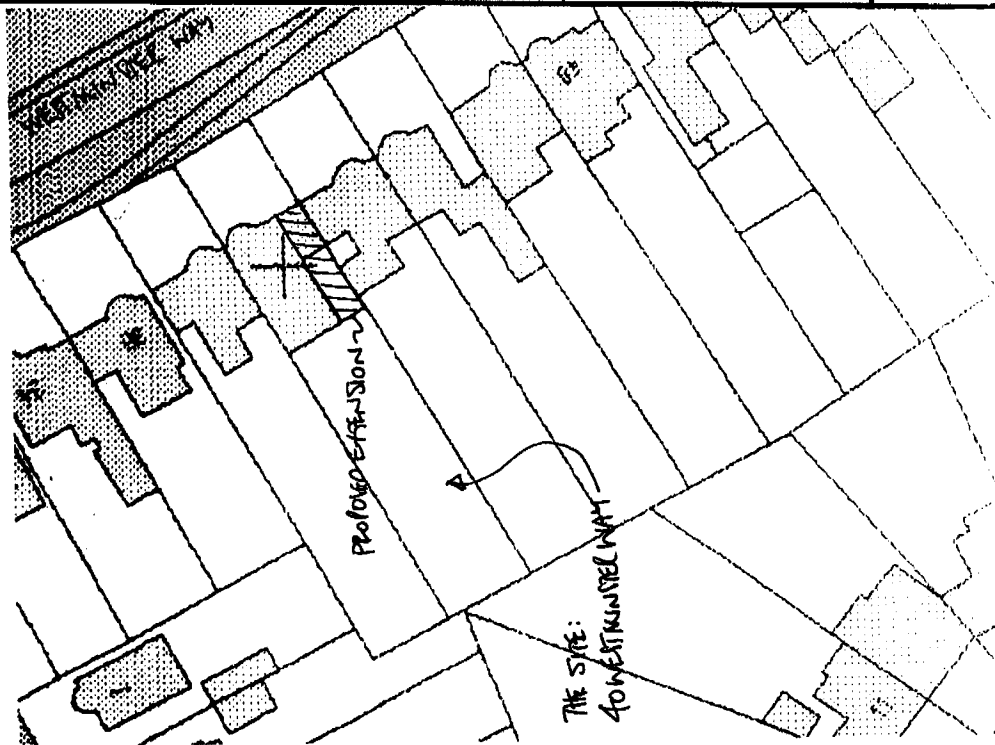
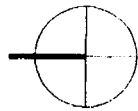
Planning permission has been granted as the proposed development is considered to comply with the provisions of the development plan, in particular Policy(ies) DC1, DC5 and DC9 of the adopted Vale of White Horse Local Plan.

Applicant to Note:

The applicant is expected to keep the highway (including footway) clean and clear at all times in the interest of amenity and highway safety.

Rodger Hood
Deputy Director (Planning and Community Strategy)

Appendix 2



01 PLAN BLOCK 1:500

06/00967/FUL NH1/6423/1

A3

NOTES

- 1 No deviation may be made from the details shown on this drawing without prior permission of the architects. Any discrepancy found between this drawing and any other document should be referred immediately to the architects. **IF IN ANY DOUBT ASK.**
- 2 No dimensions should be scaled from this drawing.
- 3 This drawing is to be removed from currency immediately a revised version is issued.
- 4 The contractor must check the existing construction on the site prior to the commencement of the works.
- 5 All rights described in chapter IV of the Copyright, Designs and Patents Act of 1988 have been generally asserted.
- 6 This drawing is reproduced under OS Licence no: AR 375128

REVISIONS

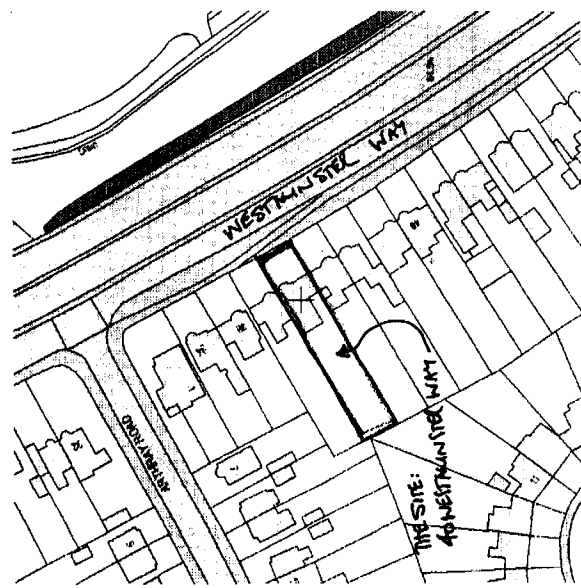
date

VALE OF WHITE HORSE DISTRICT COUNCIL
REC'D 19 JUN 2006
CORPORATE POSTAL SERVICES - 7

Ifor Rhys RIBA

architect environmental designer
landscape and interior designer
30, Hutcheon Road, North Hinksey,
Oxford OX2 9HL
Tel/Fax: Oxford (01865) 246149

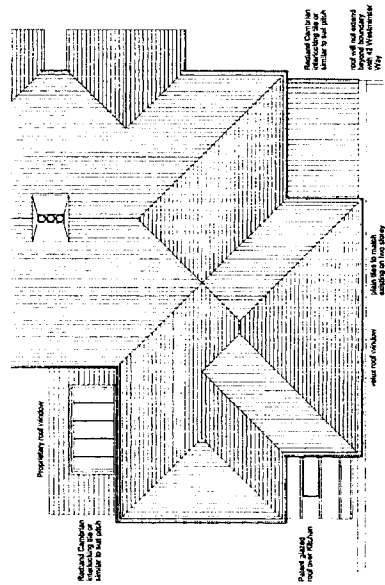
job:	Proposed alterations and extension to 40 Westminster Way, Batley, Oxford
title:	Location and Block Plan
scale:	1:1250 & 1:500
date:	March 2006
no:	MA.40WWB 100



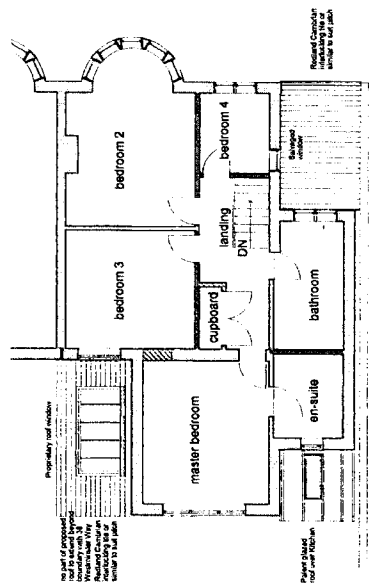
1:50 = 3 m
1:100 = 6 m
1:200 = 12 m
1:500 = 30 m
1:1250 = 75 m
1:2500 = 150 m

01 PLAN LOCATION 1:1250

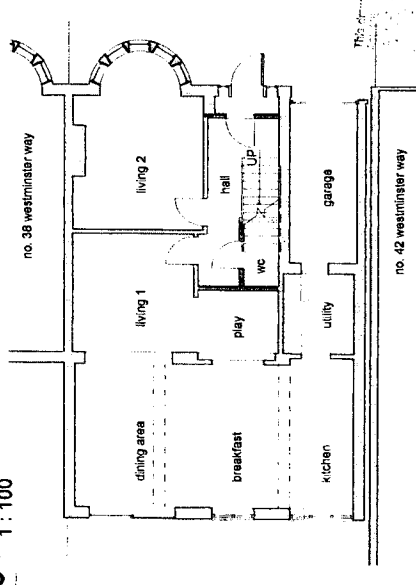
Appendix 2



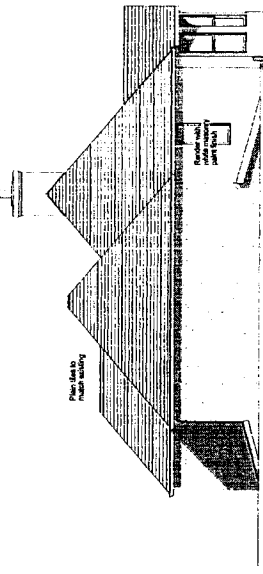
6 Roof - as proposed
1 : 100



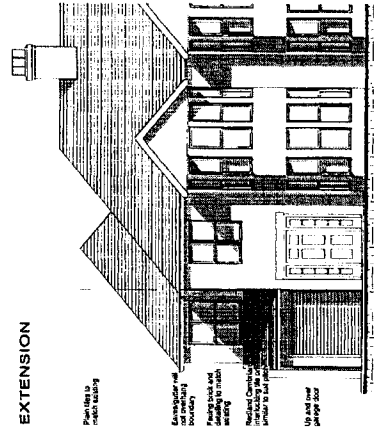
5 First Floor - as proposed
1 : 100



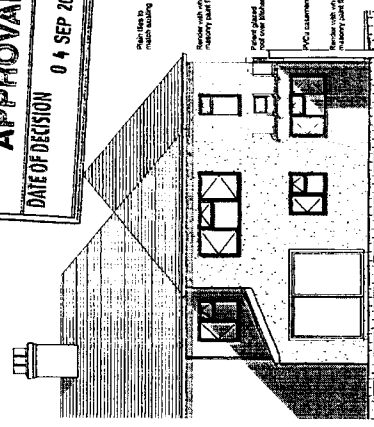
4 Ground floor - as proposed
1 : 100



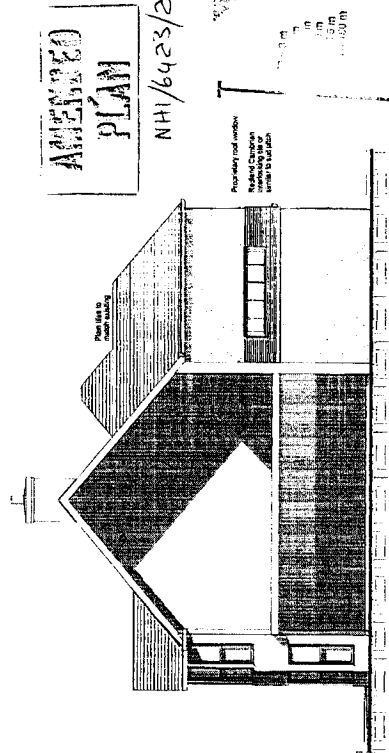
2 South - as proposed
1 : 100



7 East - as proposed
1 : 100



1 West - as proposed
1 : 100



3 North - as proposed
1 : 100

- Notes**
- No deviation may be made from the details shown on this drawing without the written permission of the architect. Any variation between this drawing and any other document should be referred immediately to the architects. IF IN DOUBT ASK.
 - No dimensions should be scaled from this drawing.
 - This drawing is to be removed from currency immediately a revised version is issued.
 - The contractor must check the existing conditions on the site prior to commencement of the works.
 - All rights described in chapter IV of the Copyright, Designs and Patents Act of 1988 have been generally assigned.

VALE OF WHITE HORSE DISTRICT COUNCIL
PLANNING SERVICES DIRECTORATE
APPROVAL
DATE OF DECISION 04 SEP 2006

VALE OF WHITE HORSE DISTRICT COUNCIL
REC'D 08 AUG 2006
CORPORATE POSTAL SERVICES Z

Rev	Date	Description
A	Aug 06	Value on site elevation omitted

Ifor Rhys RIBA
architect
environmental designer
landscape & interior designer
30 hutchcomb road, north hinksey,
oxford, oxfordshire, OX4 9HT
t 01865 874112 f 01865 246149
e iforryne@forryns.com

client: Mr Mohammed Ali
job: 40 Westminster Way

title: Plans and Elevations as proposed
scale: 1 : 100
date: June 2006
no: MA-40WWB 106A

This document is the property of the Copyright, Designs and Patents Act 1988. It is not to be used for any other purpose without the written consent of the copyright owner. You are not to copy, reproduce, store, retrieve, disseminate, distribute, or otherwise use this document in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written permission of the copyright owner.

